

- **PERMITS** - A building permit is required for any accessory building *greater than 200 square feet*. However, accessory buildings 120 square feet or less must still meet setbacks and match the principal structure. ***Please contact City Hall to obtain a building permit application and information on any additional requirements.***
- **SIZE** - The maximum size and sidewall height of non-agricultural accessory structures is based on the size of the lot. \*Both detached and attached garages are included for purposes of calculating the allowable accessory structure area permitted. Outside wall dimensions are used to determine size. Residential lots cannot have more than two accessory structures per lot.

### ACCESSORY BUILDING AREA & SIDEWALL HEIGHT TABLE

Lot Size (Acre) (a)	Maximum Building Area (Attached & Detached Structures Combined sq. ft.) (b) & (c)	Maximum Sidewall Height for Detached Accessory Structure (ft.)
Less than 1	1,200	10
1.00 - 1.99	1,600	12
2.00-2.99	2,000	14
3.00 - 3.99	2,400	14
4.00 - 4.99	2,800	14
5.00 - 5.99	3,200	14
6.00 - 6.99	3,600	14
7.00 - 7.99	4,000	14
8.00 - 8.99	4,400	14
9.00 - 9.99	4,800	14
10.00 or greater	5,200 + 400 additional per acre over	14

**The following criteria shall be used to determine the maximum square footage for accessory structures:**

- (a) Lot size is the area of the horizontal plane within the lot lines. For purposes of determining accessory space the lot area shall exclude all property within the ordinary high water level or boundary of all wetlands, streams, lakes, rivers, storm water ponds.
- \***(b)** On parcels 1.0 acre or greater in size located in the A-1 and R-2 Zoning Districts, 780 square feet of the attached garage shall not be counted towards the maximum accessory building square footage.
- (c) Lean-tos, open wall structures, gazebos and play houses are to be included in the calculation of total square footage.

- **GENERAL PROVISIONS:**

**Door Height.** In all districts, except A-1, any door opening over eight feet in height shall be turned perpendicular to the front lot line so as not to face any public street or, if facing a public street, it shall be setback an additional ten feet beyond the minimum front yard setback required for every one foot of height of the door opening over eight feet.

**Roof Pitch.** Shall not be less than a 4:12 pitch.

**Driveway Access.** Residential units are limited to one driveway access per property. Therefore, accessory buildings must be accessed from the same street access (curb cut).

- **LOCATION** - Accessory buildings must conform to the setbacks listed in the table below. **Corner lots** must maintain building setbacks to both street rights-of-way. Accessory buildings are prohibited in the front yard, except on a corner lot in the RR, R-1 and R-2 Zoning Districts subject to requirements found in §155.028 (E)(3)(b).
- **SETBACKS** - An accessory building, whether attached or detached, shall provide an additional one foot of setback beyond the minimum front, side, or rear yard setbacks required for every 100 square feet over 1,200 square feet of accessory structure area on the lot. Please contact City Hall if you have further setback questions before submitting a permit.

**SETBACK TABLE FOR ACCESSORY BUILDINGS IN THE RESIDENTIAL ZONING DISTRICTS**

<i>Size of Accessory Structure (Setbacks for each accessory structure shall be applied on an individual basis, not cumulatively.)</i>	<i>Structure Setbacks by Zoning District R-1 through R-4 (ft.)</i>	
	<i>Side</i>	<i>Rear</i>
Up to 120 square feet	5	5
121 - 240 square feet	10	10
241 - 360 square feet	10	15
361-1,200 square feet	10	30
1,300 square feet or less	11	31
1,400	12	32
1,500	13	33
1,600	14	34
Greater than 1,600	Continue to add one foot for each additional 100 square feet	
<p>* Accessory buildings shall not be located within designated drainage and utility easements.</p> <p><b>VERIFY LOCATION OF EASEMENTS ON YOUR PROPERTY WITH THE CITY PLANNING DEPARTMENT PRIOR TO CONSTRUCTION AT 763-416-7934.</b></p>		

- **DESIGN AND MATERIALS** - All accessory structures of any size shall be constructed of durable, finished materials and shall be compatible in color to the principal structure. All accessory buildings or structures greater than 120 square feet in area shall be compatible with the principal structure in terms of design, roof style, roof pitch, color and exterior finish materials. Compatible shall mean the exterior appearance of the accessory structure (i) is similar to the principle structure in its aesthetics, building materials and architecture, and (ii) does not cause dissimilar types of structures with adjacent properties, as determined by the Planning Department.

For additional City information, please check the website or contact City Hall at:  
[www.stmichaelmn.gov](http://www.stmichaelmn.gov)  
 11800 Town Center Drive NE, Suite 300, St. Michael, MN 55376  
[planning@stmichaelmn.gov](mailto:planning@stmichaelmn.gov) (Email) 763-497-2041 (Phone)

# **DETACHED GARAGE**

## 1. **REQUIRED INFORMATION WHEN APPLYING FOR A PERMIT:**

- A. Submit 2 copies of a Certificate of Survey or 2 copies of an accurate site plan drawn to scale indicating the lot dimensions, location and ground coverage area of existing structure (s), and location and area of the proposed structure. Indicate the setbacks from property lines.
- B. Submit 2 copies of drawings showing proposed designs and materials. Drawings shall be drawn to scale and shall include the following information:
- Floor plan: indicating proposed size, window and door openings, header sizes over openings, size, spacing and direction of rafter material.
  - Cross Section: indicating footing and floor design, wall and roof construction and materials used.
  - Elevations: front and side view, indicating height of structure.
  - Truss Roof System: if this is used, submit 2 copies of stamped, pre-engineered truss designs from manufacturer.

EXAMPLES OF DRAWINGS TO BE PROVIDED ARE ATTACHED AS A GUIDE

## 2. **BUILDING CODE REQUIREMENTS**

- A. FOUNDATION: (see attached slab design)  
A “floating slab” up to a maximum of 1,000 sq. feet in area, may be poured provided the soil has a bearing capacity of at least 1,500 lbs. per sq. foot. Remove all sod and root structures and other fibrous materials and cover with 4” sand fill. At the perimeter form a haunch to thickened edge having a minimum vertical dimension at the exterior face of 12” with at least 6” projecting above the finished grade. The bottom of the haunch shall be at least 8” side and then sloped upward to the bottom of the slab. The minimum concrete strength shall be at least 3,000 lbs. per sq. inch (28 day strength). In cold weather, protect concrete from freezing when green.

When slab is over 200 sq. feet in area, provide a minimum of reinforcement of 6 x 6 No. 10 gauge wire mesh. Overlap 6” splices and bend down into the edge of the slab at least 6”. When slab is over 400 sq. feet in area, provide 2 - #4 re-rods around the perimeter of the slab. NOTE: Fiber mesh is not acceptable in place of wire mesh for structural slabs.

B. SILL BOLTS:

While the concrete is still plastic, bent ½ inch diameter foundation bolts with washer and nut shall be embedded minimum 7 inches into the concrete and spaced not more than 6 ft. o.c. and 1 foot from each corner. NOTE: 4 inch block are not permitted, 6" block minimum.

C. SILL PLATES:

The bottom plate shall be a minimum of 2 x4 and it shall be treated, redwood or other rot-resistant wood.

D. WALL FRAMING:

Wood studs shall be at least 2 x 4's with 3 studs provided at corners.

E. TOP PLATE:

The top plate shall be 2 x 4's at least, overlapped doubled.

F. WALL SHEATING:

Fasten approved wall sheathing according to manufacturer's specifications (sheathing shall be approved for 16" or 24" o.c. stud spacing). EXTERIOR WALL covering shall be approved siding (rustic, drop siding, shiplap, bevel, etc.). 3/8" exterior plywood, shingles or shakes. Fasten according to manufacturer's specifications.

G. Headers:

For 16'0" door in gable (non-bearing) end header shall be minimum 2 – 2 x 12's with plywood in-between. When door is to be located in bearing wall, header shall be minimum of 2 – 14" laminated headers if truss length is up to 24 ft. If truss length is up to 32 ft. 3 – 14" laminated headers are needed.

35# snow load for all counties only for detached garages.

Rafters shall be cross tied every 4'0" from plate line to plate line and collar tied at the peak. The ridge board shall be one size larger than the rafter.

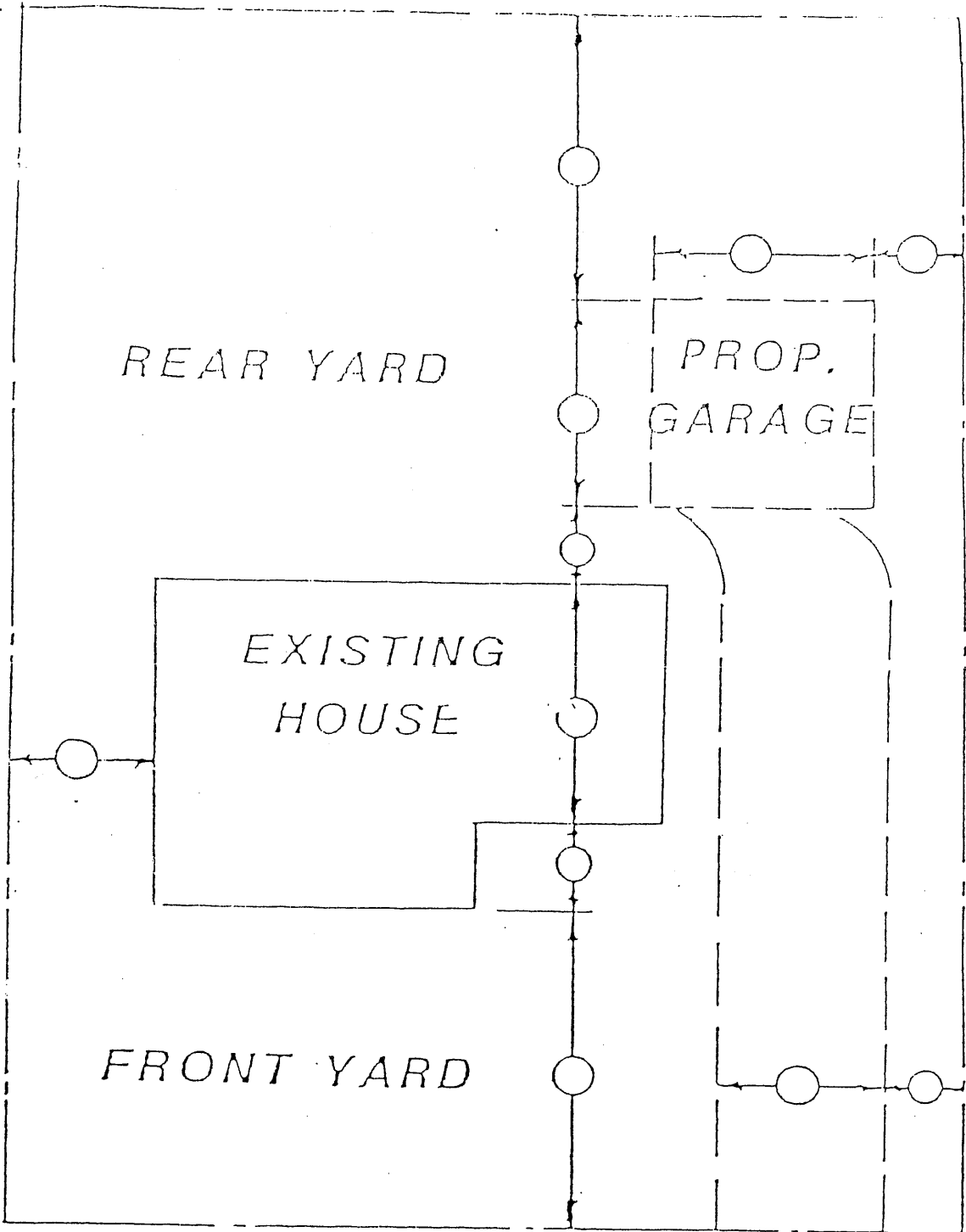
If trusses are to be used, they shall be stamped and approved by a 3<sup>rd</sup> party agency. Submit two (2) copies of truss plans signed by a registered engineer.

H. ROOF COVERING:

Nail approved roof sheathing according to manufacturer's specs (sheathing shall be approved for a 16" or 24" o.c. rafter or truss spacing). Shingles shall be an asphalt or equivalent applied over 15# felt paper according to manufacturer's specs. Structural sheathing when used on roofs, clips must be used or spacing required.

I. FIREWALL:

Garages within 5'0" of a dwelling shall be protected with materials approved for one hour fire resistive construction. Doors shall be approved self-closing solid wood at least 1-3/8" in thickness OR a self-closing, tight fitting door having a fire protection rating of not less than 20 minutes.



PROPEL  
LINE



NORT,

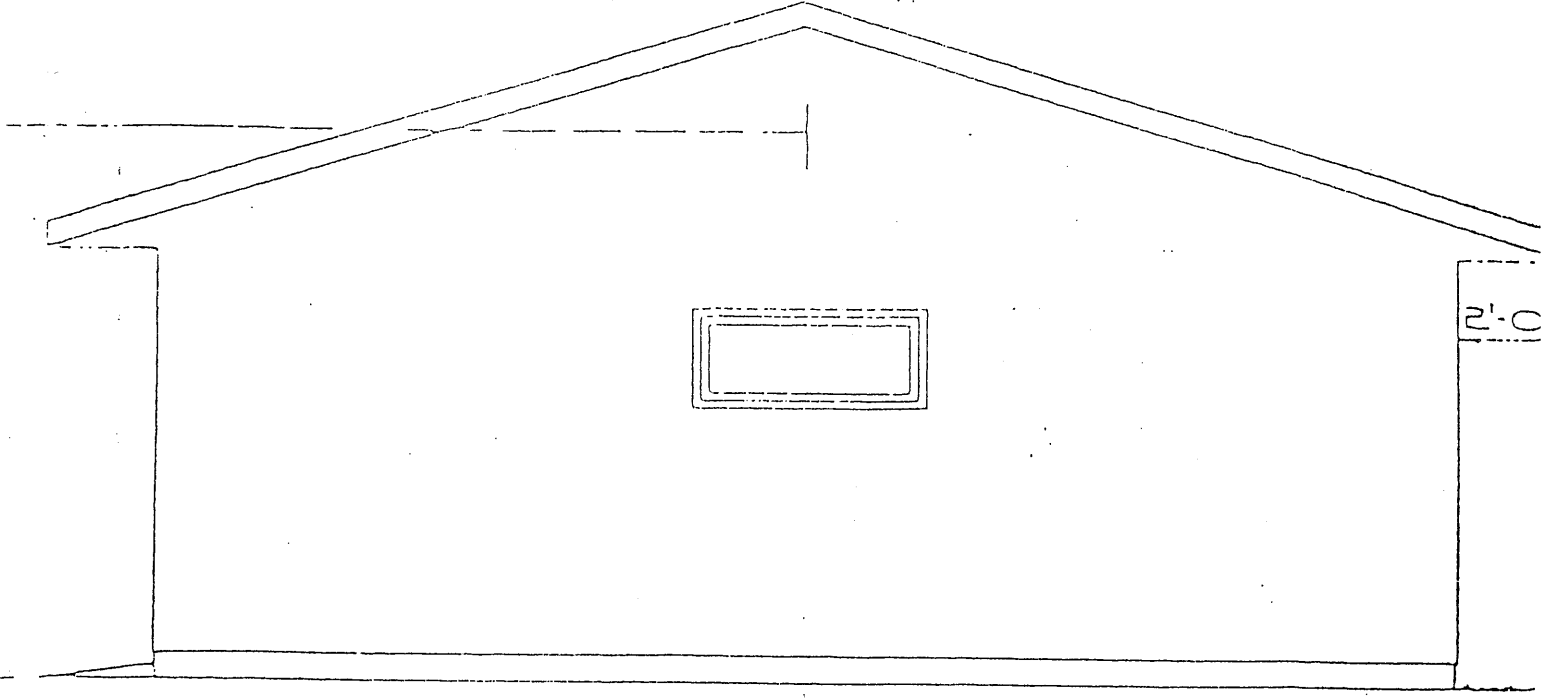
CURB

PROPERTY ADDRESS

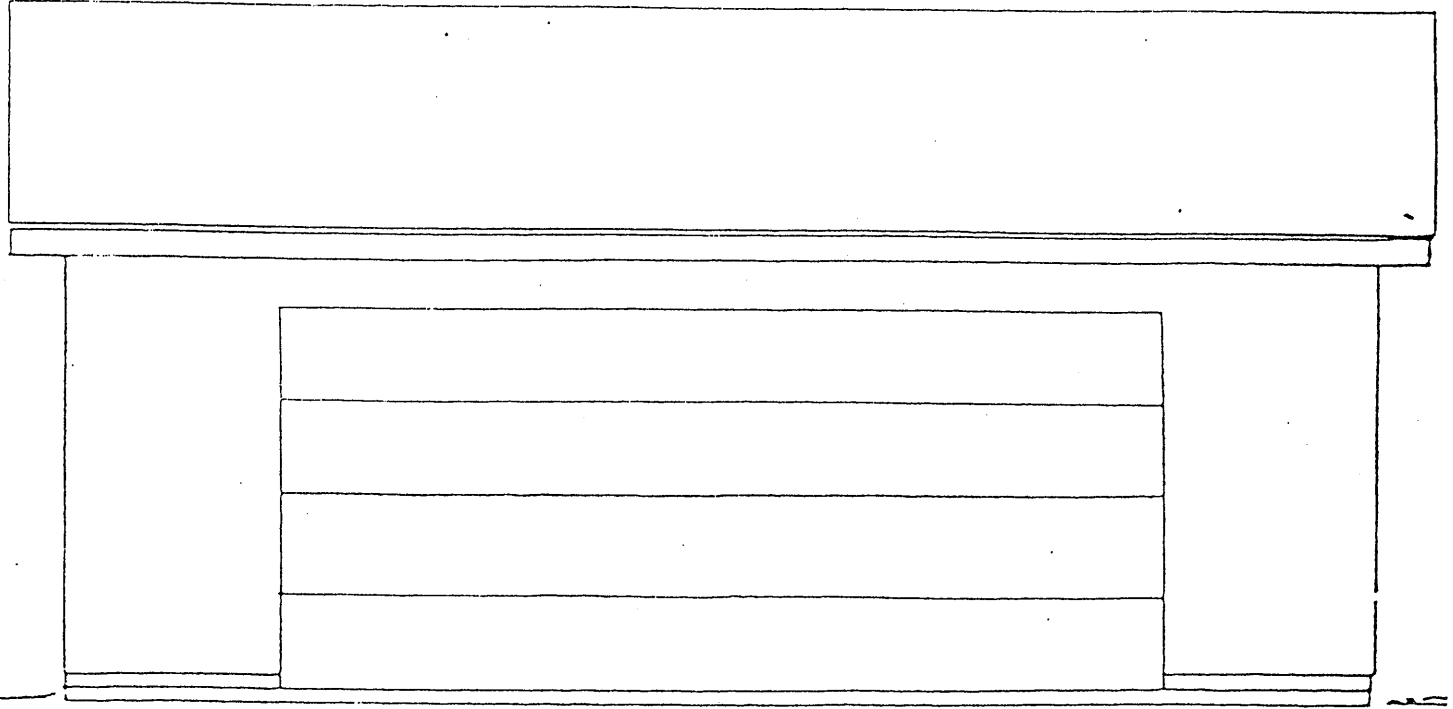
CENTER LINE OF STREET

SCALE 1"=20'

# TYPICAL SITE PLAN

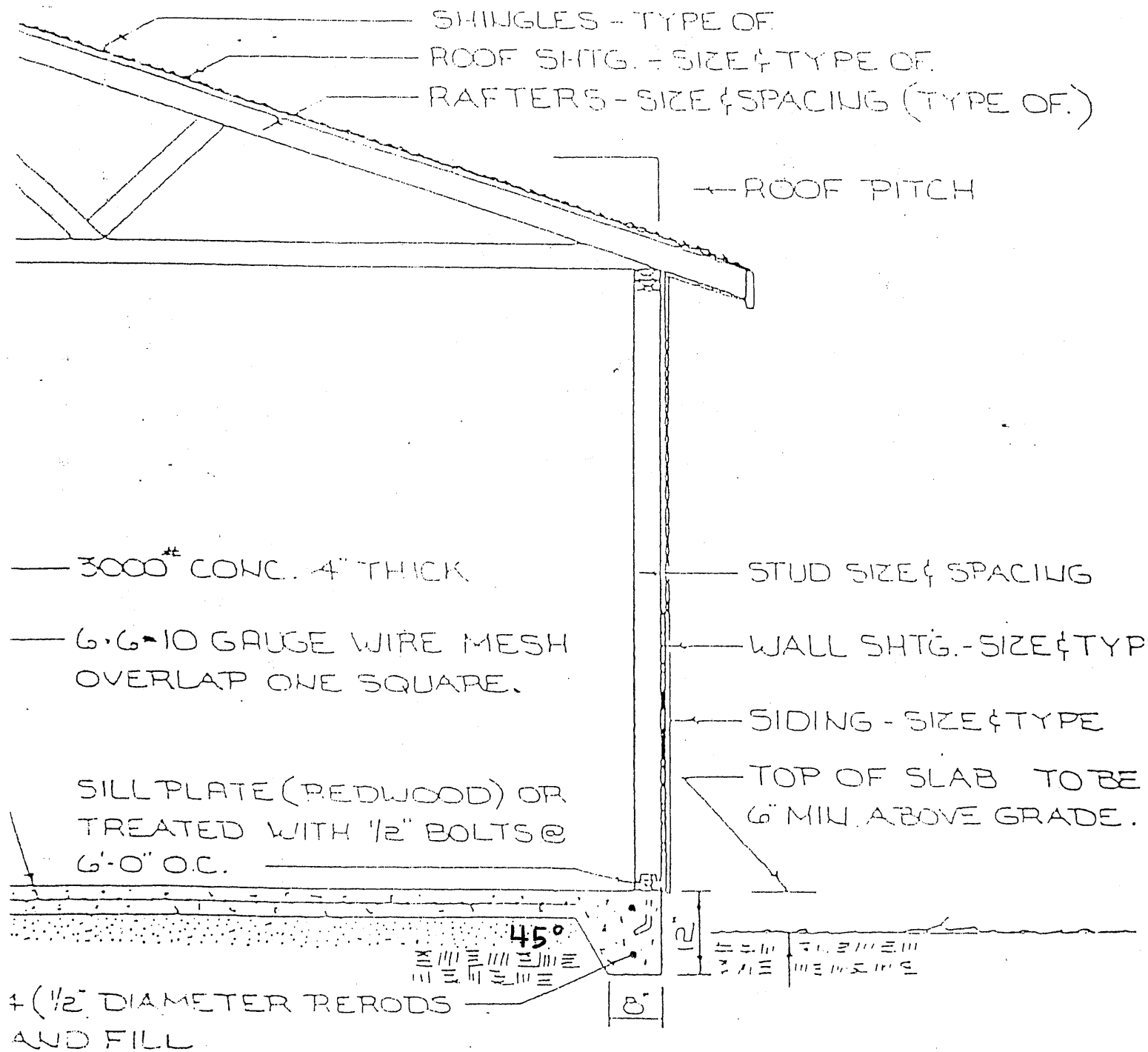


SIDE ELEVATION SCALE 1/4" = 1'-0"



FRONT ELEVATION SCALE 1/4" = 1'-0"

SUBMIT TRUSS DESIGNS TO **SITE**  
BEFORE FRAMING INSPECTION

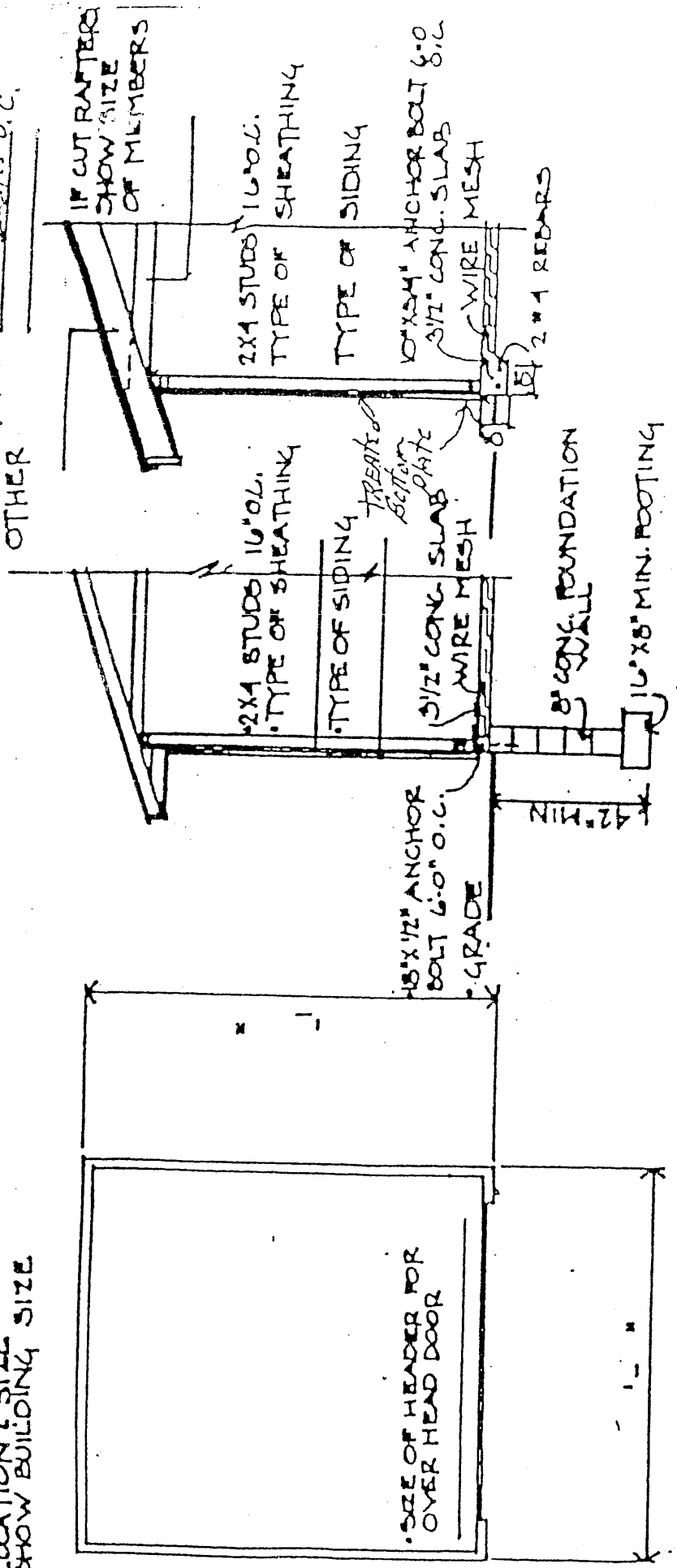


CROSS SECTION OF DETACHED GARAGE

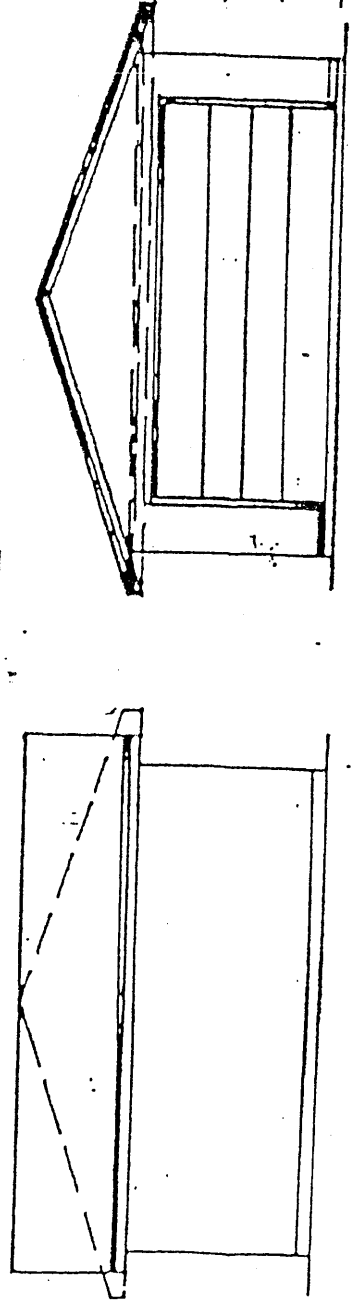
- SHOW DOOR & WINDOW LOCATION & SIZE
- SHOW BUILDING SIZE

CUT RAFTERS  
OTHER

IF CUT RAFTERS SHOW SIZE OF MEMBERS



- HIP
- GABLE
- OTHER



PROVIDE SITE PLAN ON BACK OF SHEET

COMMENTS

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NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 SITE ADDRESS \_\_\_\_\_

DATE \_\_\_\_\_

ANY MODIFICATION FROM THIS STANDARD DESIGN SHOULD BE SHOWN



STANDARD  
ALPINE TRUSS

ALPINE ENGINEERED PRODUCTS, INC  
P.O. BOX 2225  
POMPAHO BEACH, FLORIDA 33061  
305-701-3333

DESIGN CRITERIA TPI

TC LIVE LOAD	-	33.6	PSF
TC DEAD LOAD	-	15.8	PSF
BC DEAD LOAD	-	18.5	PSF
TOTAL	-	68.5	PSF
DUR. FACTOR		1.15	
SPACING		21.8"	OC

50' PINE

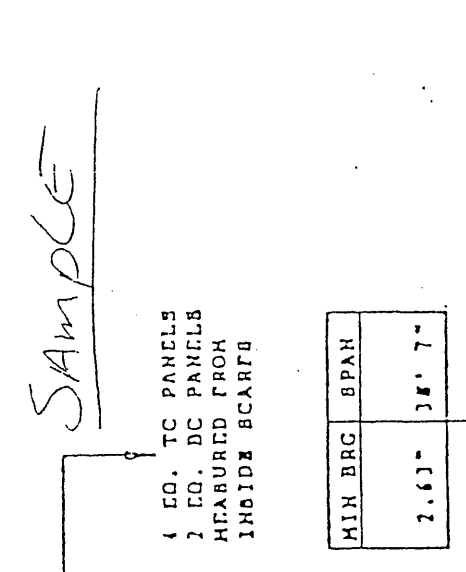
	OVERALL SPANS	
	2X6 TC	2X4 BC
S5 DEN XD	30' 7"	30' 7"
S5 DEN	30' 7"	30' 7"
S8 XD	30' 7"	30' 7"
S5	30' 7"	30' 7"
F1 DEN XD	30' 7"	30' 7"
F1 DEN	30' 7"	30' 7"
F1 XD	30' 7"	30' 7"
F1	30' 7"	30' 7"
F2 DEN XD	30' 7"	30' 7"
F2 DEN	30' 7"	30' 7"
F2 XD	30' 7"	30' 7"
F2	30' 7"	30' 7"

LOADING	SPACING
60.0/1.15	24.0"
2X6/2X6	PITCH
42WBS	ou 5.0/12
SPANS TO 30' 7"	
ASC-60/1.15-3513-24/50/36/2	

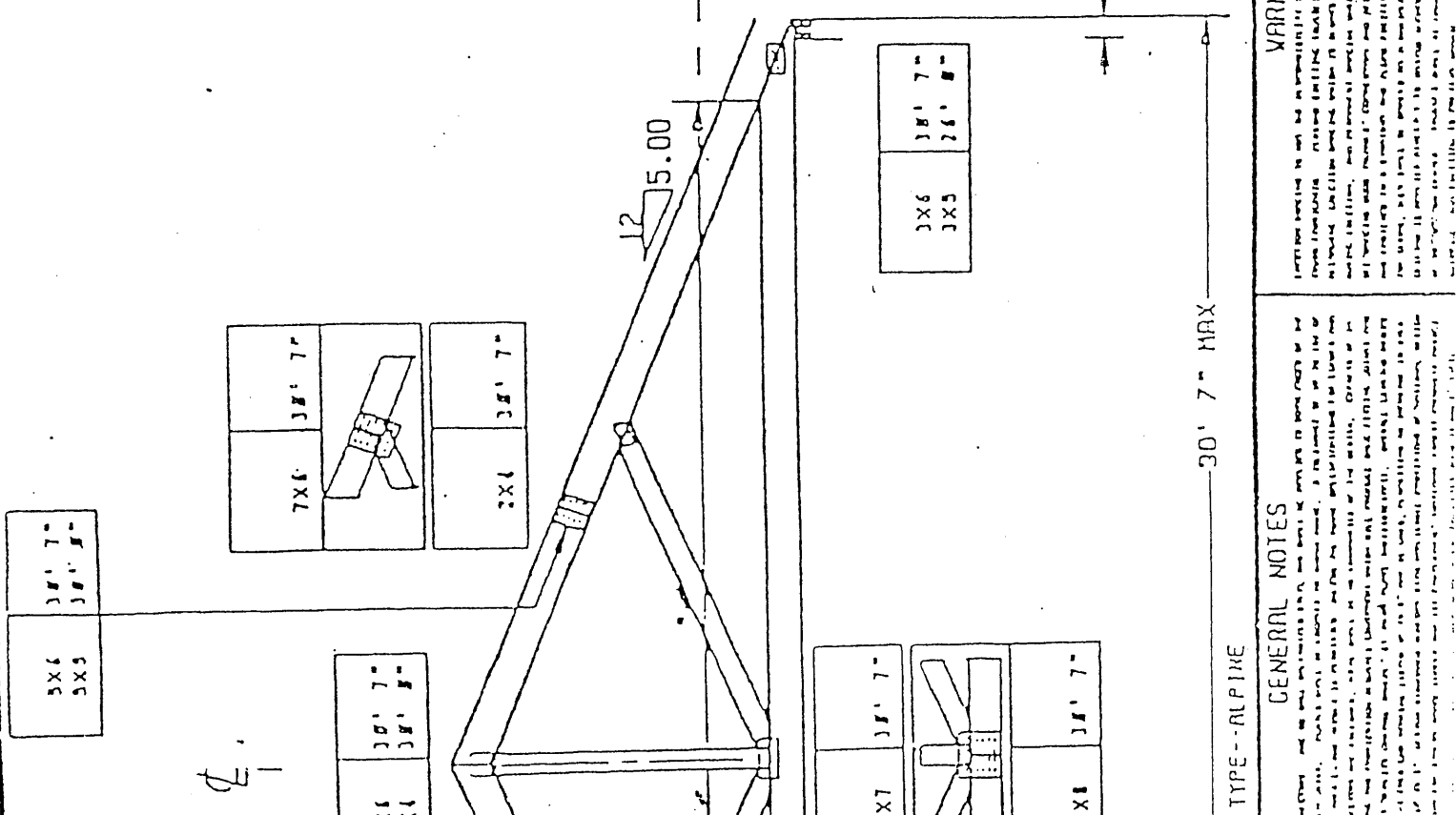
WEBS: 2X4 FJ  
HEM-FIR, FIR-LARCH, OR SO. PINE  
1X4 CONTINUOUS LATERAL BRACING  
REQUIRED FOR SPANS EXCEEDING  
ATTACH TO EACH WEB  
W/2-8D NAILS

OFF-PANEL SPLICES IN THE TOP CHORD  
MUST BE LOCATED WITHIN 6 INCHES  
OF 1/4-POINTS OF PANEL LENGTH

DASHES SHOW  
DIRECTION OF  
ELONGATED  
HOLES IN  
PLATES ON TYPICAL CONTINUOUS JOINTS



4 EQ. TC PANELS  
2 EQ. BC PANELS  
HEAURED FROM  
INSIDE BCARBS





11800 Town Center Drive NE, Suite 300
St. Michael, MN 55376
Phone: 763-497-9923
inspections@stmichaelmn.gov

Permit No. \_\_\_\_\_

Date \_\_\_\_\_

BUILDING PERMIT APPLICATION

SITE ADDRESS: \_\_\_\_\_

LEGAL DESCRIPTION: LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ ADDITION \_\_\_\_\_

PROPERTY OWNER NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP: \_\_\_\_\_

APPLICANTS EMAIL ADDRESS: \_\_\_\_\_

CONTRACTOR NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

STATE LICENSE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PLUMBER NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

MECHANICAL NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

GAS NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

FIREPLACE NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

TYPE OF WORK

- Checkboxes for: New Construction, Alterations / Remodel, Addition, Finish Basement, Residing, Repair, Porch, Garage, Deck, Reroof, Other: \_\_\_\_\_

TYPE OF CONSTRUCTION

- Checkboxes for: Single Family, Duplex, Multi-Family

BUILDING INFORMATION

Use of Building: \_\_\_\_\_ # of Stories: \_\_\_\_\_

Floor area sq. ft.: \_\_\_\_\_

Estimated Value of Construction: \_\_\_\_\_ Description of Work: \_\_\_\_\_

\*\*SPECIAL CONDITIONS: IT IS MY RESPONSIBILITY TO LOCATE AND ESTABLISH THE ELEVATIONS, IF NEEDED, OF ALL SITE IMPROVEMENTS. REQUIRED ADJUSTMENTS AT MY EXPENSE.

**APPLICANT: Please show fixtures that are applicable**

<p><b><u>Mechanical: (if applicable)</u></b></p> <table style="width:100%; border-collapse: collapse;"> <tr> <th style="width:10%;"><u>No.</u></th> <th><u>Fixture Type</u></th> </tr> <tr><td>_____</td><td>A/C</td></tr> <tr><td>_____</td><td>Air to Air Exchanger</td></tr> <tr><td>_____</td><td>Residential Hood</td></tr> <tr><td>_____</td><td>Duct Work</td></tr> <tr><td>_____</td><td>Furnace</td></tr> <tr><td>_____</td><td>Boiler</td></tr> <tr><td>_____</td><td>In Floor Heat</td></tr> <tr><td>_____</td><td>Pool Heater</td></tr> <tr><td>_____</td><td>Solar</td></tr> <tr><td>_____</td><td>Unit Heater</td></tr> <tr><td>_____</td><td>Other _____</td></tr> </table> <p><b>Valuation:</b> \$ _____</p> <p><b>Residential</b> - 1 1/2% Total Job Valuation*-min. of \$75</p> <p><b>Surcharge:</b> .0005 x total Job Valuation</p>	<u>No.</u>	<u>Fixture Type</u>	_____	A/C	_____	Air to Air Exchanger	_____	Residential Hood	_____	Duct Work	_____	Furnace	_____	Boiler	_____	In Floor Heat	_____	Pool Heater	_____	Solar	_____	Unit Heater	_____	Other _____	<p><b><u>Plumbing: (if applicable)</u></b></p> <table style="width:100%; border-collapse: collapse;"> <tr> <th style="width:10%;"><u>No.</u></th> <th><u>Fixture Type</u></th> </tr> <tr><td>_____</td><td>Bathtub</td></tr> <tr><td>_____</td><td>Clothes Washer</td></tr> <tr><td>_____</td><td>Dishwasher</td></tr> <tr><td>_____</td><td>Floor Drains</td></tr> <tr><td>_____</td><td>Kitchen Sink / Disposal</td></tr> <tr><td>_____</td><td>Lavatory</td></tr> <tr><td>_____</td><td>Lavatory Rough in</td></tr> <tr><td>_____</td><td>Roof Drains</td></tr> <tr><td>_____</td><td>Sewage Pump</td></tr> <tr><td>_____</td><td>Sewer / Water</td></tr> <tr><td>_____</td><td>Shower</td></tr> <tr><td>_____</td><td>Utility Sink</td></tr> <tr><td>_____</td><td>Sump Pump / Radon</td></tr> <tr><td>_____</td><td>Swim Pool</td></tr> <tr><td>_____</td><td>Sprinkler System (PVB)</td></tr> <tr><td>_____</td><td>Water Closet (toilet)</td></tr> <tr><td>_____</td><td>Water Heater</td></tr> <tr><td>_____</td><td>Water Meter</td></tr> <tr><td>_____</td><td>Water Softener</td></tr> <tr><td>_____</td><td>Other _____</td></tr> <tr><td>_____</td><td><b>Total Openings</b></td></tr> </table> <p><b>Residential</b> - \$75 for the 1st opening -\$8 for each additional</p> <p><b>Surcharge:</b> Residential - \$1.00, Commercial - .0005 x total Job Valuation</p>	<u>No.</u>	<u>Fixture Type</u>	_____	Bathtub	_____	Clothes Washer	_____	Dishwasher	_____	Floor Drains	_____	Kitchen Sink / Disposal	_____	Lavatory	_____	Lavatory Rough in	_____	Roof Drains	_____	Sewage Pump	_____	Sewer / Water	_____	Shower	_____	Utility Sink	_____	Sump Pump / Radon	_____	Swim Pool	_____	Sprinkler System (PVB)	_____	Water Closet (toilet)	_____	Water Heater	_____	Water Meter	_____	Water Softener	_____	Other _____	_____	<b>Total Openings</b>	<p><b><u>Permit Fees:</u></b></p> <p>Permit Fee: _____</p> <p>Surcharge Fee: _____</p> <p>Plan Review Fee: _____</p> <p>Water Inspection Fee: _____</p> <p>Sewer Inspection Fee: _____</p> <p>Water Meter Fee: _____</p> <p>Water Fee: _____</p> <p>Sewer Fee: _____</p> <p>Contractors License: _____</p> <p>Erosion Control Escrow: _____</p> <p>Trunk Fee: _____</p> <p>PRV: _____</p> <p>Penalty Fee: _____</p> <p>Mechanical Fee: _____</p> <p>Mechanical Surcharge Fee: _____</p> <p>Gas Fee: _____</p> <p>Gas Surcharge Fee: _____</p> <p>Gas Fireplace Fee: _____</p> <p>Gas Fireplace Surcharge Fee: _____</p> <p>Plumbing Fee: _____</p> <p>Plumbing Surcharge Fee: _____</p> <p>Other Fee: _____</p> <p>Engineering Fee: _____</p> <p><b>Total Fees:</b> _____</p>
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**Applicant Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Approved by Planning:** \_\_\_\_\_ **Date:** \_\_\_\_\_

Notes: \_\_\_\_\_

**Approved by Engineering:** \_\_\_\_\_ **Date:** \_\_\_\_\_

Notes: \_\_\_\_\_

**Approved by Building Official:** \_\_\_\_\_ **Date:** \_\_\_\_\_